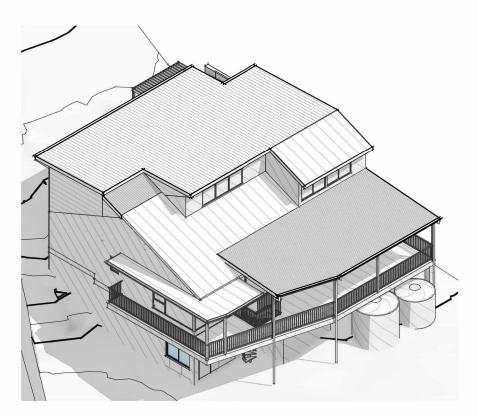
07.03.25 DA ISSUE

Issue: Drawn:





PROPOSED ALTERATIONS AND ADDITIONS

CLIENT: BRISCOE **STATUS:** DA PLANS

LOT No: 566 **DP No:** 9938

STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324

CWC JOB #: J5904

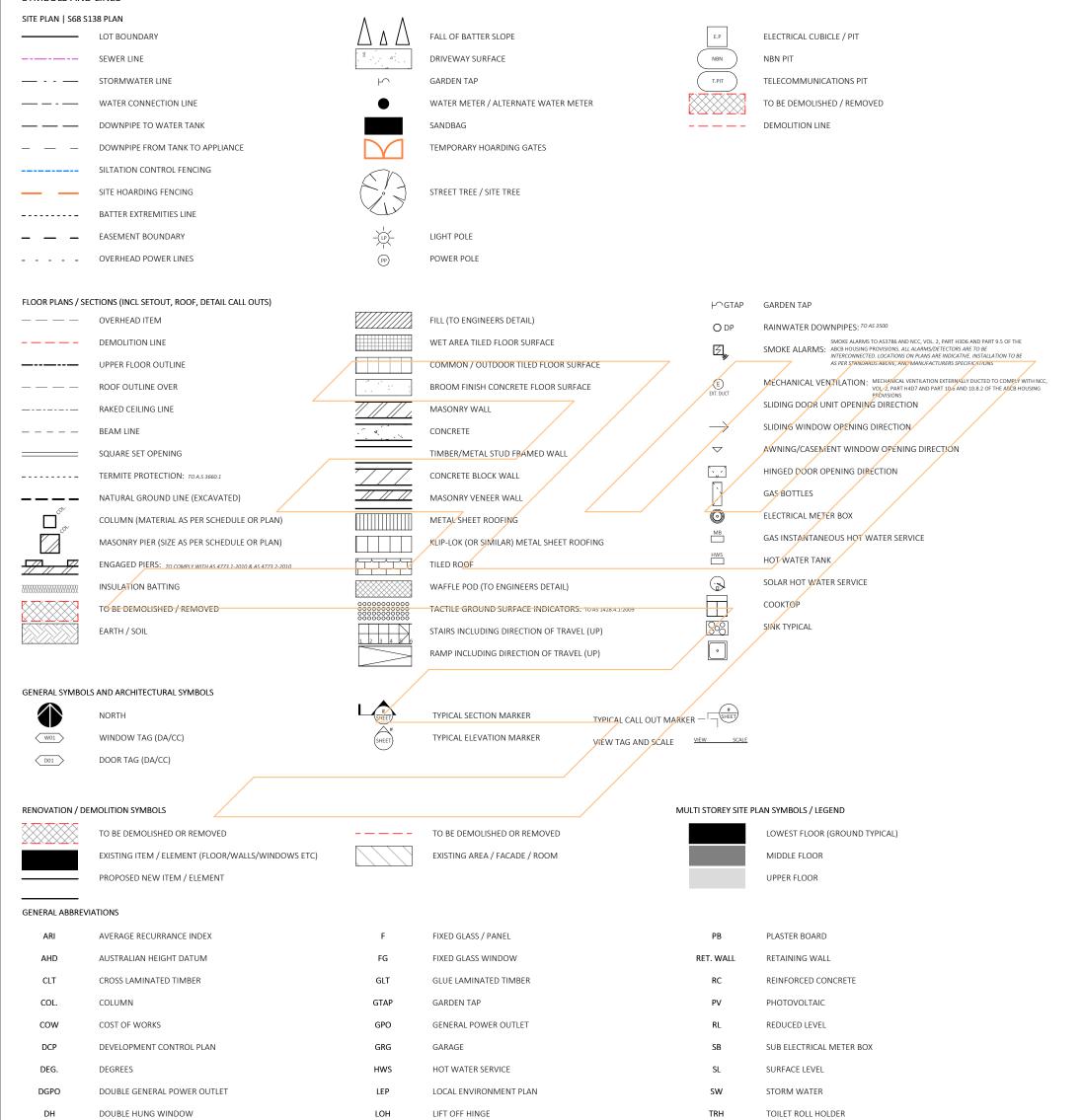
CONTENTS

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2	SITE PLAN	G
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5	EXISTING UPPER FLOOR PLAN	G
6	EXISTING/DEMOLITION LOWER FLOOR PLAN	G
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GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET. REVISED JANURARY 2021

SYMBOLS AND LINES



collinswcollins Building Designers

RAINWATER DOWNPIPE

DOUBLE TOWEL RAIL

HOT WATER SERVICE

FINISHED SURFACE LEVEL

FIBRE CEMENT

DP DTR

HWS

FC

F.S.L

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electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.	STATUS: DA PLANS LOT No: 566 DP No: 9938	SHEET: 1 OF 20	
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant	STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324		
Discrepancies to be referred to the consultant Designer prior to commencement of work.	CLIENT: BRISCOE		

LAMINATED VENEER LUMBER

FLECTRICAL METER BOX

MOISTURE RESISTANT

NATURAL GROUND LINE

MECHANICAL

MAN HOLE

LVL

MECH.

MB

 MR

МН

NGL

LEGENDS		DRAWING REVISION + NOTES				
			Date:	Revision:	Issue:	Drawn:
	SCALE:	1:100	10/7/24	INITIAL ISSUE	А	JC
			19/9/24	CONCEPT CHANGES	С	JC
	SHEET SIZE:	A3	02.10.24	FINAL CONCEPT	D	JS
	START DATE:	09.01.2023		SURVEY ADDED/CONCEPT UPDATES	Е	JS
	DIAC No.	15004	17.02.25	PRELIMINARY DA ISSUE	F	JS
	DWG No:	J5904	07.03.25	DA ISSUE	G	JS
	T: 02 6583 4411			WWW. COLLINSWO	OLLINS.	COM.AU

DA ISSUE ONLY

T.O.K

T.O.W

WC

1650B

900V

820

TOP OF KERB

TOP OF WALL

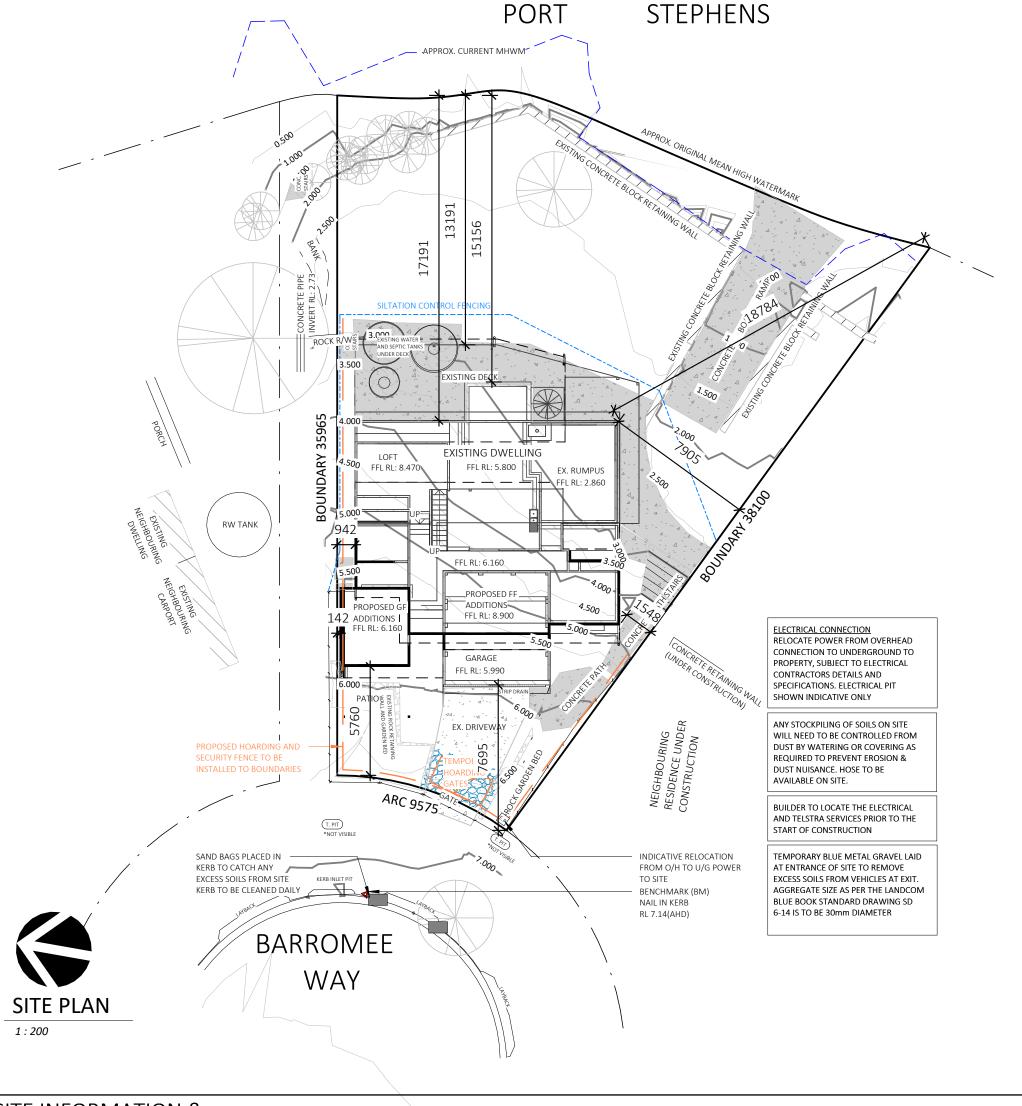
WATER CLOSET

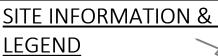
BATH SIZING

VANITY SIZING

INTERIOR DOOR SIZING

89A Lord Street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430 T: 02 6583 4411





SITE AREA: $= 765.4 \text{m}^2$ OVERALL HABITABLE AREA =299.7m²(including garages/store) GROSS FLOOR AREA (as per LEP

 $=252.3m^{2}$ definition) FLOOR SPACE RATIO = 33%; 0.33:1 BUSHFIRE AFFECTED NO

FLOOD AFFECTED YES APPROX HARDSTAND AREA $=430m^{2}$ APPROX LANDSCAPED AREA $=335m^{2}$

SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD

SITE HOARDING AND SECURITY FENCE

WATER MAINS (APPROX ONLY)

STORMWATER LINES (APPROX ONLY)

LINE OF EASEMENTS

GTAP ├^

PROPOSED GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)

 \triangle a \triangle a \triangle

LINE OF BATTER TO GROUND LEVELS (TO BE USED AS A GUIDE ONLY)



ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY COOKSON LAND SURVEYORS. ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

DA ISSUE ONLY

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BUSHFIRE NOTES:

BAL - LOW

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

SEWER LINES (APPROX ONLY)

CLIENT: BRISCOE

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



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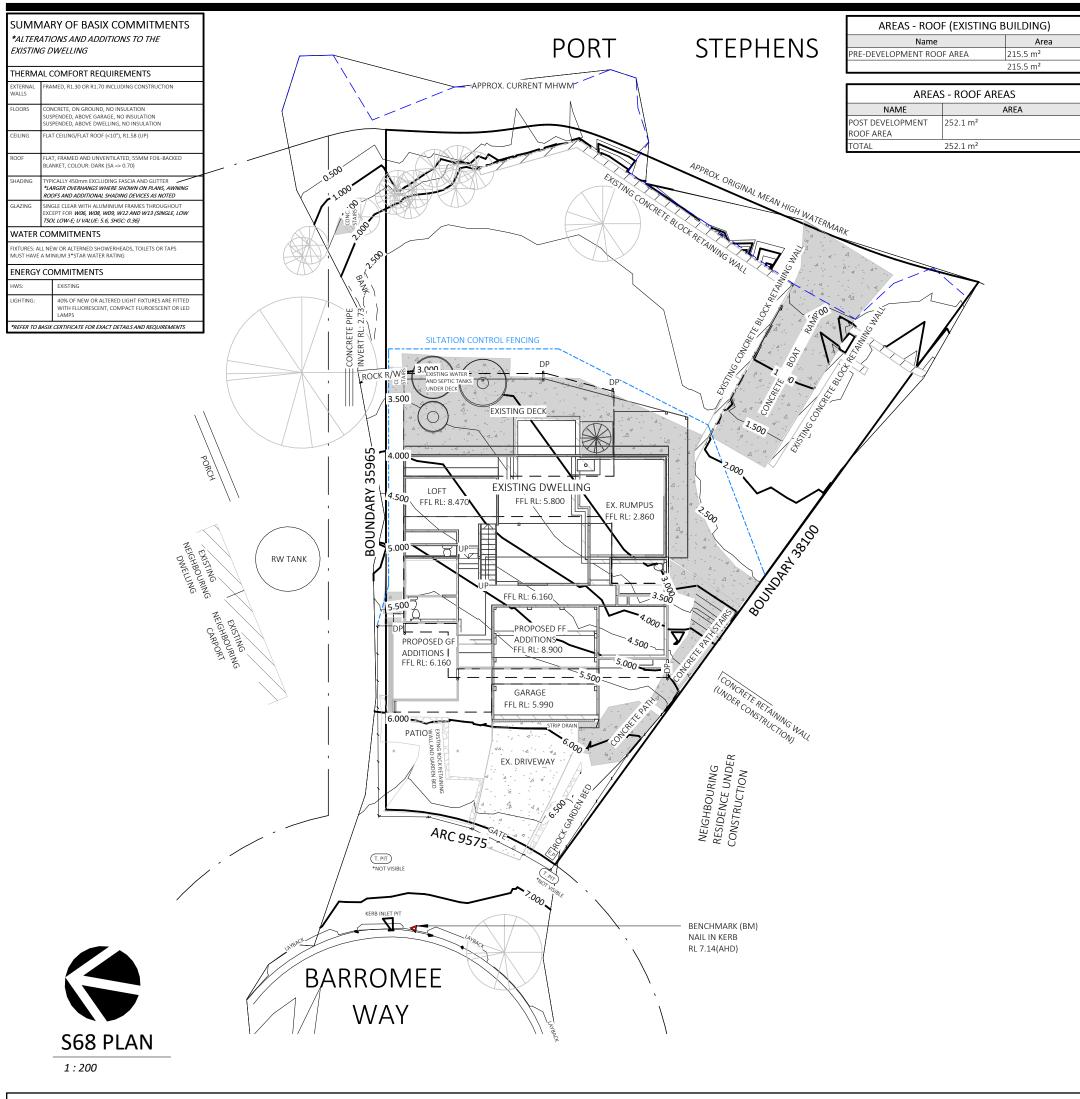
check all the dimensions on the job prior to commencement of shop drawings or fabrication Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT:			
STATUS: DA PLANS	CHEET.	2 OF 20	
LOT No: 566 DP No: 9938	SHEET:	2 01 20	
STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW			
2324			

PROPOSED ALTERATIONS AND ADDITIONS

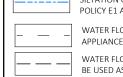
SITE PLAN		
		Date:
SCALE:	1:200	10/7/24
SHEET SIZE:	A3	19/9/24 02.10.24
START DATE:	09.01.2023	18.12.24
DWG No:	J5904	17.02.25

DRAWING REVISION + NOTES Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES FINAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE



S68 & S138 INFO & LEGEND

STORMWATER/RAINWATER TO BE DIRECTED TO ON-SITE RAINWATER STORAGE TANKS WITH OVERFLOWS TO BE CONNECTED TO EXISTING RAINWATER TANKS ON SITE AND DISCHARGE VIA EXISTING OVERFLOW CONNECTIONS ON SITE (SURFACE AND SUB-SURFACE STORMWATER TO BE DISPOSED OF VIA PIPEWORK IN ACCORDANCE WITH AS 3500)



BAL - LOW

POLICY E1 AND THE ADOPTED AUSPEC STANDARD

WATER FLOW FROM RAINWATER STORAGE TANKS TO APPLIANCES AND FIXTURES (TO BE USED AS A GUIDE ONLY) WATER FLOW FROM DOWNPIPES TO RAINWATER TANKS (TO

BE USED AS A GUIDE ONLY)

STORMWATER FLOW (TO BE USED AS A GUIDE ONLY)

GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)

DPO

DOWNPIPE LOCATIONS (TO BE USED AS A GUIDE ONLY)

ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY *COOKSON LAND* SURVEYORS. ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

SEPTIC SYSTEM - EARTHSAFE D10 AEROBIC TREATMENT TANK AND PRIMARY TREATMENT TANK WITH PUMP OUT. SYSTEM TO BE ASSESSED BY CONSULTANT AND CONFIRM IF UPGRADES ARE REQUIRED

NOTE: ALL NEW DOWNPIPES TO CONNECT TO EXISTING CATCHMENT TO RAINWATER TANKS ON-SITE FOR COLLECTION AND RE-USE (NO EXISTING COUNCIL WATER SERVICE EXISTS AND SITE IS WHOLLY RELIANT ON RAINWATER COLLECTION)

DA ISSUE ONLY

BUSHFIRE NOTES:

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROJECT: PROPOSED ALTERATIONS AND ADDITIONS			
STATUS: DA PLANS	CHEET.	3 OF 20	
LOT No: 566 DP No: 9938	SHEET:	3 01 20	
STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW			
2324			

SCALE:	As indicated	10/7/24
CLIEFT CITE		19/9/24
SHEET SIZE:	A3	02.10.24
START DATE:	09.01.2023	18.12.24
		17.02.25
DWG No:	J5904	07.03.25
T: 02 6583 4411		

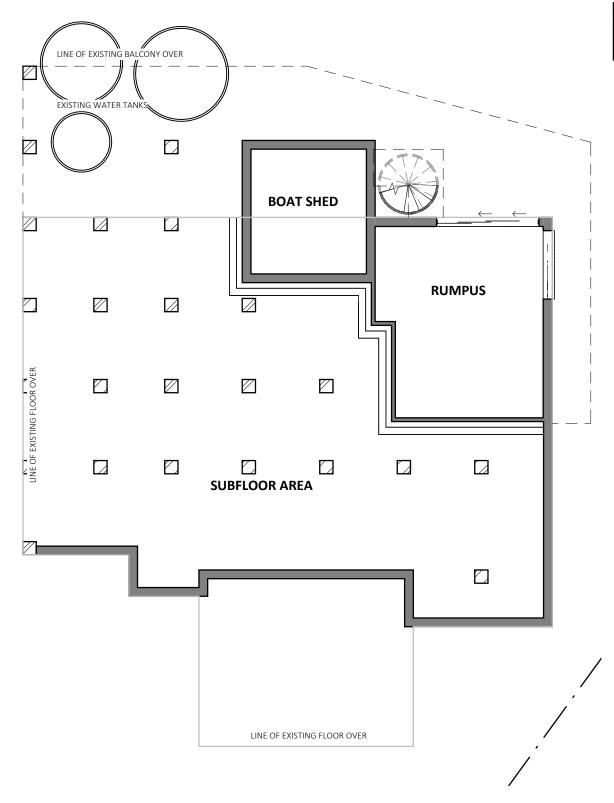
S68 & S138 PLAN

Issue: Drawn: Date: Revision: INITIAL ISSUE CONCEPT CHANGES FINAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

DRAWING REVISION + NOTES

AREAS - FLOOR (EXISTING BUILDING)		
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS		
Area		
00 FL		
13.2 m²		
24.3 m ²		
58.0 m ²		
34.2 m ²		
128.5 m²		
2.4 m ²		
03 LOFT FL		
20.0 m ²		
280.6 m ²		

AREAS - ROOF (EXISTING BUILDING)		
Name	Area	
PRE-DEVELOPMENT ROOF AREA	215.5 m ²	
	215.5 m ²	





DA ISSUE ONLY

BAL - LOW

BUSHFIRE NOTES:

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

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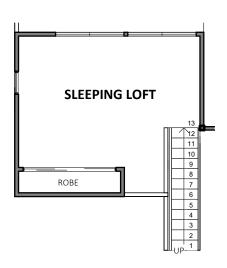
PROJECT: PROPOSED ALTERATIONS AND ADDITIONS			
STATUS: DA PLANS	SHEET: 4 OF 20		
LOT No: 566 DP No: 9938	SHEET: 4 OF 20		
STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW			
2324			
CLIENT: BRISCOE			

EXISTING LOWE		
PLAN	Date:	
SCALE:	1:100	10/7/24
SHEET SIZE:	A3	19/9/24 02.10.24
START DATE:	09.01.2023	18.12.24
DWG No:	J5904	17.02.25

T: 02 6583 44<u>11</u>

Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES FINAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

DRAWING REVISION + NOTES

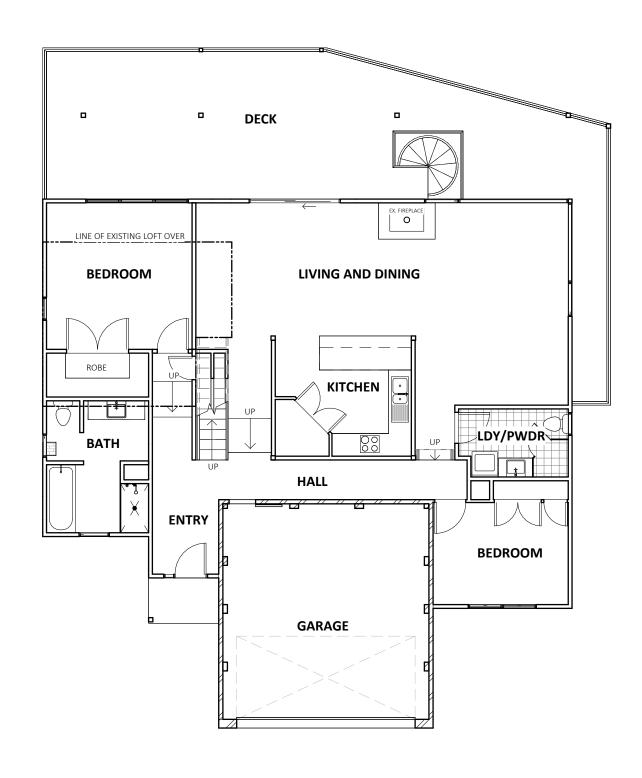


AREAS - FLOOR (EXISTING BUILDING)		
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS		
Name Area		
00 FL		
EX. BOAT SHED	13.2 m ²	
EX. RUMPUS	24.3 m ²	
02 FL		
EX. DECK	58.0 m ²	
EX. GRG	34.2 m ²	
EX. GROUND FLOOR	128.5 m ²	
EX. PORCH	2.4 m ²	
03 LOFT FL		
EX. LOFT	20.0 m ²	
	280.6 m ²	

AREAS - ROOF (EXISTING BUILDING)	
Name	Area
PRE-DEVELOPMENT ROOF AREA	215.5 m ²
	215.5 m ²

EXISTING LOFT FLOOR PLAN

1:100





EXISTING GROUND FLOOR PLAN

BUSHFIRE NOTES:

1:100

DA ISSUE ONLY

BAL - LOW

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROPOSED ALTERATIONS AND ADDITIONS

STATUS: DA PLANS
LOT No: 566 DP No: 9938

STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324

CLIENT: BRISCOE

PLAN Date:

SCALE: 1:100 10/7/24
19/9/24
SHEET SIZE: A3 02.10.24
START DATE: 09.01.2023 18.12.24
DWG No: J5904 07.03.35

EXISTING UPPER FLOOR

T: 02 6583 4411

: Revision: Issue: Drawn:

INITIAL ISSUE
CONCEPT CHANGES
FINAL CONCEPT
SURVEY ADDED/CONCEPT UPDATES
PRELIMINARY DA ISSUE
DA ISSUE

REVISION:

ISSUE: Drawn:

A

JC

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JC

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SURVEY
JS

G

JS

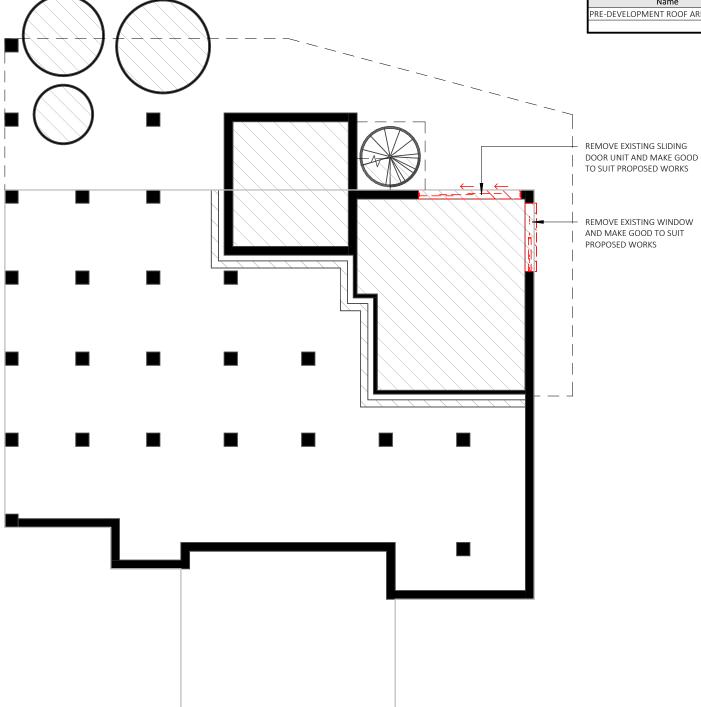
DRAWING REVISION + NOTES

GENERAL DEMOLITION NOTES:

- ALL DEMOLITIION WORKS TO BE ASSESS AND CONFIRMED BY ENGINEER PRIOR TO STARTING DEMOLITION AND CONSTRUCTION.
- TEMPORARY PROPPING TO BE INSTALLED AS NECESSARY TO SUPPORT FLOORS, ROOFS AND ANY OTHER ELEMENT. TO ENGINEERS DETAILS
- BUILDER TO COORDINATE WITH ENGINEER FOR ON-SITE INSPECTION OF EXISTING STRUCTURES ONCE LININGS ARE REMOVED AND STRUCTURE IS SUFFICIENTLY EXPOSED
- ALL SERVICES WHERE DEMOLITION IS TO OCCUR SHALL BE APPOROPRIATELY DISCONNECTED AND TERMINATED AS REQUIRED. / OR / TEMPORARILY CAPPED OFF FOR RECONNECTION AT LATER STAGES.
- WHERE DEMOLITION OCCURS WHICH WILL DISTURB ASBESTOS CONTAINING MATERIALS, DEMOLITION AND REMOVAL SHALL BE CARRIED OUT BY A LICENSED ASBESTOS CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH RELATIVE GOVERNMENT AUTHORITY LEGISLATION.

AREAS - FLOOR (EXISTING BUILDING)		
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS		
Name Area		
00 FL		
EX. BOAT SHED 13.2 m ²		
EX. RUMPUS 24.3 m ²		
02 FL		
EX. DECK	58.0 m ²	
EX. GRG	34.2 m ²	
EX. GROUND FLOOR	128.5 m ²	
EX. PORCH	2.4 m ²	
03 LOFT FL		
EX. LOFT	20.0 m ²	
	280.6 m ²	

AREAS - ROOF (EXISTING BUILDING)	
Name	Area
PRE-DEVELOPMENT ROOF AREA	215.5 m ²
	215.5 m ²





LOWER FLOOR DEMOLITION PLAN

BAL - LOW

DA ISSUE ONLY

BUSHFIRE NOTES:

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROPOSED ALTERATIONS AND ADDITIONS STATUS: DA PLANS SHEET: 6 OF 20 **LOT No**: 566 **DP No**: 9938 STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work. 2324

SCALE: SHEET SIZE: START DATE: DWG No:

T: 02 6583 4411

EXISTING/DEMOLITION

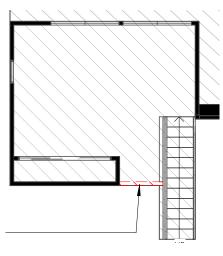
LOWER FLOOR PLAN Date: 10/7/24 1:100 19/9/24 Α3 02.10.24 18.12.24 09.01.2023 17.02.25 J5904

Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES JC FINAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

DRAWING REVISION + NOTES

GENERAL DEMOLITION NOTES:

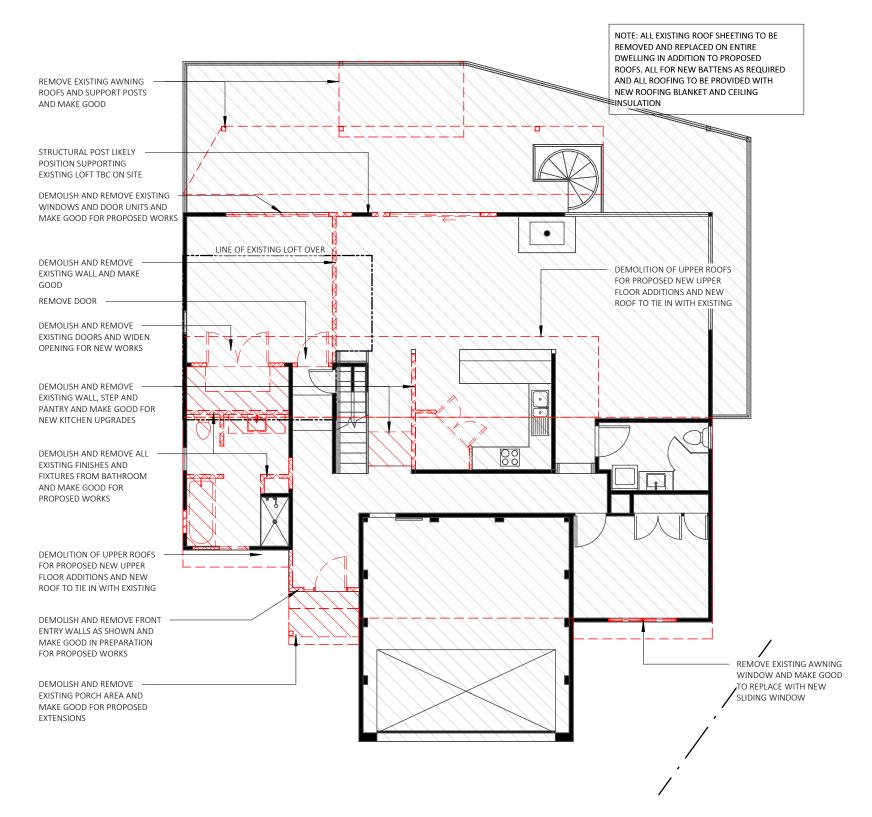
- ALL DEMOLITIION WORKS TO BE ASSESS AND CONFIRMED BY ENGINEER PRIOR TO STARTING DEMOLITION AND CONSTRUCTION.
- TEMPORARY PROPPING TO BE INSTALLED AS NECESSARY TO SUPPORT FLOORS, ROOFS AND ANY OTHER ELEMENT. TO ENGINEERS DETAILS
- BUILDER TO COORDINATE WITH ENGINEER FOR ON-SITE INSPECTION OF EXISTING STRUCTURES ONCE LININGS ARE REMOVED AND STRUCTURE IS SUFFICIENTLY EXPOSED
- ALL SERVICES WHERE DEMOLITION IS TO OCCUR SHALL
 BE APPOROPRIATELY DISCONNECTED AND TERMINATED
 AS REQUIRED. / OR / TEMPORARILY CAPPED OFF FOR
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- WHERE DEMOLITION OCCURS WHICH WILL DISTURB ASBESTOS CONTAINING MATERIALS, DEMOLITION AND REMOVAL SHALL BE CARRIED OUT BY A LICENSED ASBESTOS CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH RELATIVE GOVERNMENT AUTHORITY LEGISLATION.



AREAS - FLOOR (EXISTING BUILDING)		
*FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS		
Name	Area	
00 FL		
EX. BOAT SHED	13.2 m²	
EX. RUMPUS	24.3 m ²	
02 FL		
EX. DECK	58.0 m ²	
EX. GRG	34.2 m ²	
EX. GROUND FLOOR	128.5 m ²	
EX. PORCH	2.4 m²	
03 LOFT FL		
EX. LOFT	20.0 m ²	
	280.6 m ²	
•		

AREAS - ROOF (EXISTING BUILDING)	
Name	Area
PRE-DEVELOPMENT ROOF AREA	215.5 m ²
	215.5 m ²

DEMOLISH AND REMOVE EXISTING LOW HEIGHT BALUSTRADE WALL AND MAKE GOOD IN PREPARATION FOR PROPOSED WORKS





GROUND FLOOR/LOFT DEMOLITION PLAN

1:100

BUSHFIRE NOTES:

DA ISSUE ONLY

BAL - LOW

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



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DO NOT SCALE from this drawing. CONTRACTOR is to
check all the dimensions on the job prior to

commencement of shop drawings or fabrication Discrepancies to be referred to the consultant PROJECT: PROPOSED ALTERATIONS AND ADDITIONS

STATUS: DA PLANS
LOT No: 566 DP No: 9938

STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324

UPPER FLOOR PLAN Date: 1:100 10/7/24 SCALE: 19/9/24 SHEET SIZE: Α3 02.10.24 START DATE: 09.01.2023 18.12.24 17.02.25 DWG No: J5904 : 02 6583 441:

EXISTING/DEMOLITION

Revision: Issue: Drawn:

INITIAL ISSUE A JC
CONCEPT CHANGES C JC
FINAL CONCEPT D JS
SURVEY ADDED/CONCEPT UPDATES E JS
FREIMINARY DA ISSUE F JS
TA DA ISSUE

DRAWING REVISION + NOTES

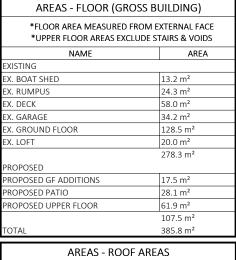
Designer prior to commencement of work.

CLIENT: BRISCOE

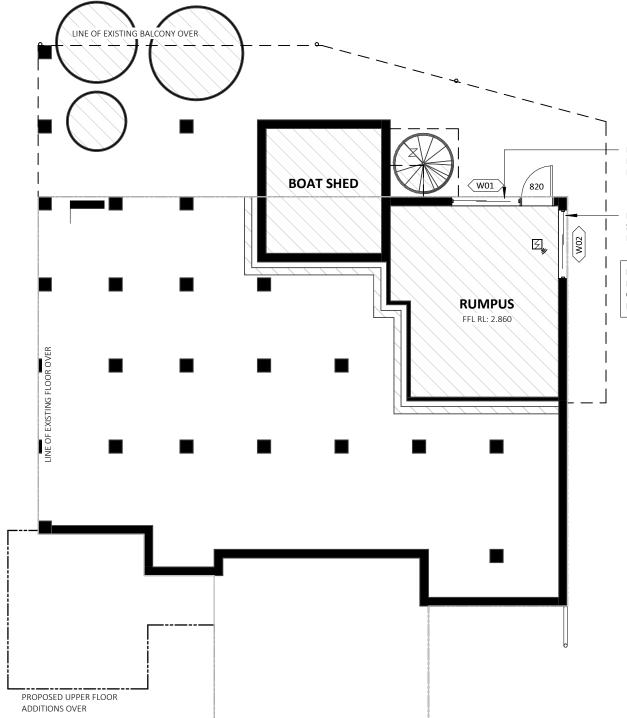
89A Lord Street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430

SMOKE ALARMS/DETECTORS:

SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6
AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL
ALARMS AND DETECTORS ARE TO BE INTERCONNECTED.
LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO
BE AS PER THE STANDARDS NOTED ABOVE AND ANY
MANUFACTURERS DETAILS AND SPECIFICATIONS.



AREAS - ROOF AREAS	
NAME	AREA
POST DEVELOPMENT	252.1 m ²
ROOF AREA	
TOTAL	252.1 m ²



NEW SLIDING WINDOW AND DOOR WITH SOLID INFILL AS REQUIRED TO LEFTOVER OPENING

NEW SLIDING WINDOW AND SOLID INFILL AS REQUIRED TO LEFTOVER OPENING BELOW

NOTE: INFILL BELOW WINDOWS TO BE LIGHTWEIGHT FRAMING WITH SELECT CLADDING AS OWNER ADVISED BRICKWORK IS NOT POSSIBLE TO MATCH



LEGEND

SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE.
INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS

(E) MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART H4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS DOWNPIPE LOCATIONS TO COMPLY WITH AS 3500

DP DOWNPIPE LOCATIONS TO COMPLY WITH
GTAP GARDEN TAP LOCATION

LOH LIFT OFF HINGE

DTR DOUBLE TOWEL RAIL
TRH TOILET ROLL HOLDER
V-900 VANITY 900mm (SIZE VARIES)
OBS OBSCURE GLAZING

S FANS TO ROOMS (INDICATIVE ONLY) ONLY

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BUSHFIRE NOTES:

BAL - LOW

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



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STATUS: DA PLANS

LOT No: 566 DF

STREET: 11 BARRO

2324

CLIENT: BRISCOE

PROJECT: PROPOSED ALTERATIONS	AND ADDITIONS
STATUS: DA PLANS	SHEET: 8 OF 20
LOT No: 566 DP No: 9938	SHEET: 6 OT 20
STREET: 11 BARROMEE WAY, NORT	H ARM COVE, NSW
2324	
CLIENT. DDICCOE	

PROPOSED LOW	ER FLOOR	
PLAN		Date:
SCALE:	1:100	10/7/24
SHEET SIZE:	A3	19/9/24 02.10.24
START DATE:	09.01.2023	18.12.24
DWG No:	J5904	17.02.25 07.03.25

DRAWING REVISION + NOTES			
te:	Revision:	Issue:	Drawn:
24	INITIAL ISSUE	А	JC
24	CONCEPT CHANGES	С	JC
.24	FINAL CONCEPT	D	JS
.24	SURVEY ADDED/CONCEPT UPDATES	E	JS
.25	PRELIMINARY DA ISSUE	F	JS
.25	DA ISSUE	G	ls l

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH NCC VOL. 2, H5D2, H5D3 AND PART 11.2.1 AND 11.2.2 OF THE ABCB HOUSING PROVISIONS.

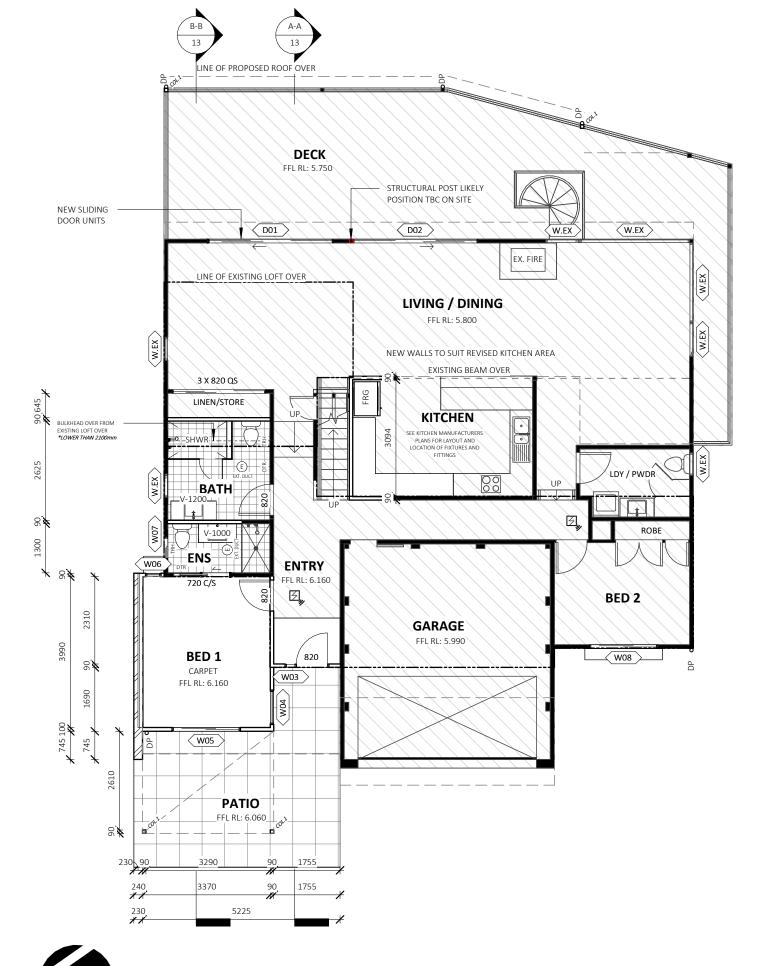
BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB HOUSING PROVISIONS.

WET AREA NOTES:

WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 AND NCC, VOL. 2, PART H4D2 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS, AND WHERE A FLOOR WASTE IS INSTALLED, IT MUST BE PROVIDED WITH A MIN. CONTINUOUS FALL OF 1:80 AND MAX. CONTINUOUS FALL OF 1:50 AS PER PART 10.2.12 OF THE ABCB HOUSING PROVISIONS. INSTALLATION OF MATERIALS TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURER DETAILS AND SPECIFICATIONS.

SMOKE ALARMS/DETECTORS:

SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS AND DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS.



NAME	AREA
EXISTING	
EX. BOAT SHED	13.2 m²
EX. RUMPUS	24.3 m ²
EX. DECK	58.0 m ²
EX. GARAGE	34.2 m ²
EX. GROUND FLOOR	128.5 m²
EX. LOFT	20.0 m ²
	278.3 m²
PROPOSED	
PROPOSED GF ADDITIONS	17.5 m²
PROPOSED PATIO	28.1 m²
PROPOSED UPPER FLOOR	61.9 m ²
	107.5 m²
TOTAL	385.8 m ²

AREAS - FLOOR (GROSS BUILDING)

AREAS - ROOF AREAS	
NAME	AREA
POST DEVELOPMENT	252.1 m ²
ROOF AREA	
TOTAL	252.1 m ²

LEGEND SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING Ø, PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED, LOCATIONS ON PLANS ARE INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART H4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS DOWNPIPE LOCATIONS TO COMPLY WITH AS 3500 DPo GTAP GARDEN TAP LOCATION LIFT OFF HINGE LOH 1800mm HIGH x 1500mm WIDE 1815 820mm DOOR 820 ACCESS MAN HOLE M/H DOUBLE TOWEL RAIL DTR TOILET ROLL HOLDER TRH VANITY 900mm (SIZE VARIES) V-900 OBSCURE GLAZING OBS CEILING FANS TO ROOMS (INDICATIVE ONLY)

BUSHFIRE NOTES:

1:100

BAL - LOW

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

PROPOSED GROUND FLOOR PLAN

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROJECT:	AND ADDITIONS
STATUS: DA PLANS	SHEET: 9 OF 20
LOT No: 566 DP No: 9938	SHEET: 9 OF 20
STREET: 11 BARROMEE WAY, NORT	H ARM COVE, NSW
2324	
CLIENT: BRISCOE	

PLAN		Date
SCALE:	1:100	10/7/24
SHEET SIZE:	A3	19/9/24 02.10.24
START DATE:	09.01.2023	18.12.24
DWG No:	J5904	17.02.25
DVVO IVO.	JJ3U4	ln7 n3 25

PROPOSED MAIN FLOOR

2:	Revision:	Issue:	Drawn:
1	INITIAL ISSUE	А	JC
ļ	CONCEPT CHANGES	С	JC
4	FINAL CONCEPT	D	JS
4	SURVEY ADDED/CONCEPT UPDATES	E	JS
5	PRELIMINARY DA ISSUE	F	JS
5	DA ISSUE	G	ljs l

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DRAWING REVISION + NOTES

STAIRS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH NCC VOL. 2, H5D2, H5D3 AND PART 11.2.1 AND 11.2.2 OF THE ABCB HOUSING

BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB HOUSING PROVISIONS.

WET AREA NOTES:

В-В

WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 AND NCC, VOL. 2, PART H4D2 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS, AND WHERE A FLOOR WASTE IS INSTALLED, IT MUST BE PROVIDED WITH A MIN. CONTINUOUS FALL OF 1:80 AND MAX. CONTINUOUS FALL OF 1:50 AS PER PART 10.2.12 OF THE ABCB HOUSING PROVISIONS, INSTALLATION OF MATERIALS TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURER: DETAILS AND SPECIFICATIONS.

SMOKE ALARMS/DETECTORS:

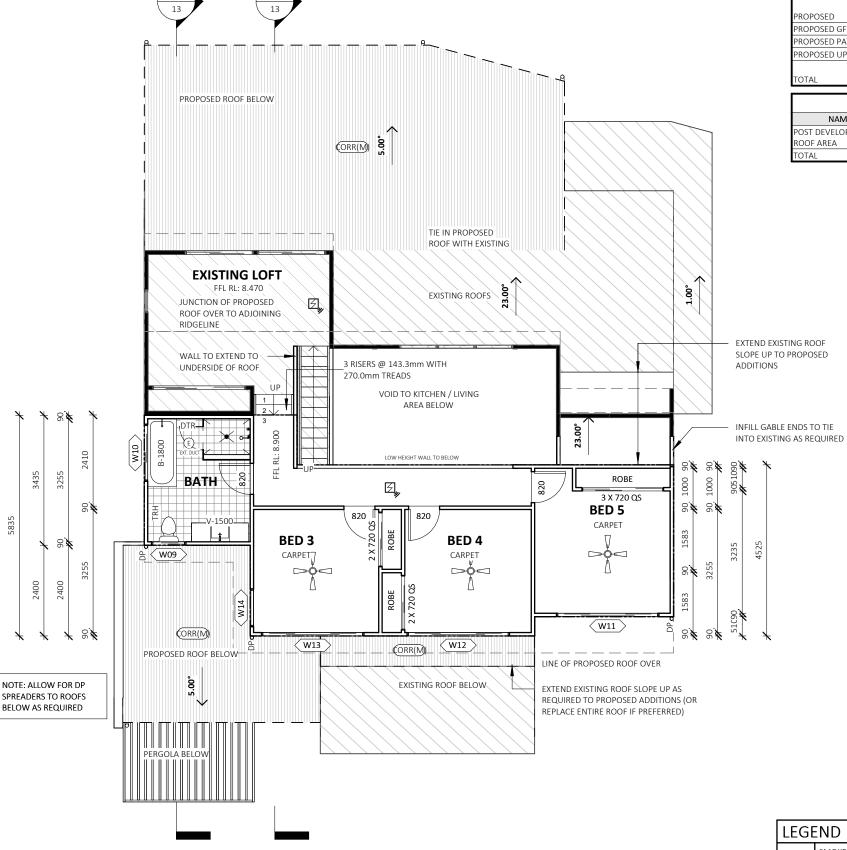
SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS AND DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS

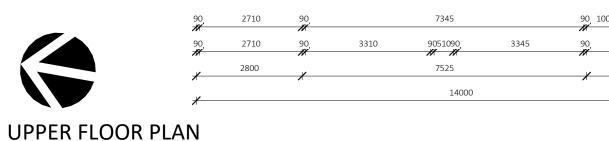
AREAS - FLOOR (GROSS BUILDING) *FLOOR AREA MEASURED FROM EXTERNAL FACE *UPPER FLOOR AREAS EXCLUDE STAIRS & VOIDS

NAME	AREA
EXISTING	
EX. BOAT SHED	13.2 m²
EX. RUMPUS	24.3 m²
EX. DECK	58.0 m ²
EX. GARAGE	34.2 m ²
EX. GROUND FLOOR	128.5 m²
EX. LOFT	20.0 m ²
	278.3 m ²
PROPOSED	
PROPOSED GF ADDITIONS	17.5 m²
PROPOSED PATIO	28.1 m ²
PROPOSED UPPER FLOOR	61.9 m²
	107 5 m ²

AREAS - ROOF AREAS			
NAME	AREA		
POST DEVELOPMENT	252.1 m ²		
ROOF AREA			
TOTAL	252.1 m ²		

385.8 m²





LEGE	END
5	SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
E EXT. DUCT	MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART H4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS
DPo	DOWNPIPE LOCATIONS TO COMPLY WITH AS 3500
GTAP	GARDEN TAP LOCATION
LOH	LIFT OFF HINGE
1815	1800mm HIGH x 1500mm WIDE
820_	820mm DOOR
M/H	ACCESS MAN HOLE
DTR	DOUBLE TOWEL RAIL
TRH	TOILET ROLL HOLDER
V-900	VANITY 900mm (SIZE VARIES)
OBS	OBSCURE GLAZING
	CEILING FANS TO ROOMS (INDICATIVE ONLY)

BUSHFIRE NOTES:

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY **BAL - LOW** BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROJECT: PROPOSED ALTERATIONS	AND ADDITIONS
STATUS: DA PLANS	SHEET: 10 OF 20
LOT No: 566 DP No: 9938	SHEET: 10 OF 20
STREET: 11 BARROMEE WAY, NORT	H ARM COVE, NSW
2324	
CLIENT: BRISCOE	

PLAN		Date:
SCALE:	1:100	10/7/24 19/9/24
SHEET SIZE:	۸.2	02.10.24
START DATE:	09.01.2023	18.12.24
DWG No:	15904	17.02.25

PROPOSED UPPER FLOOR

3585

3675

Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES FINAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

DRAWING REVISION + NOTES

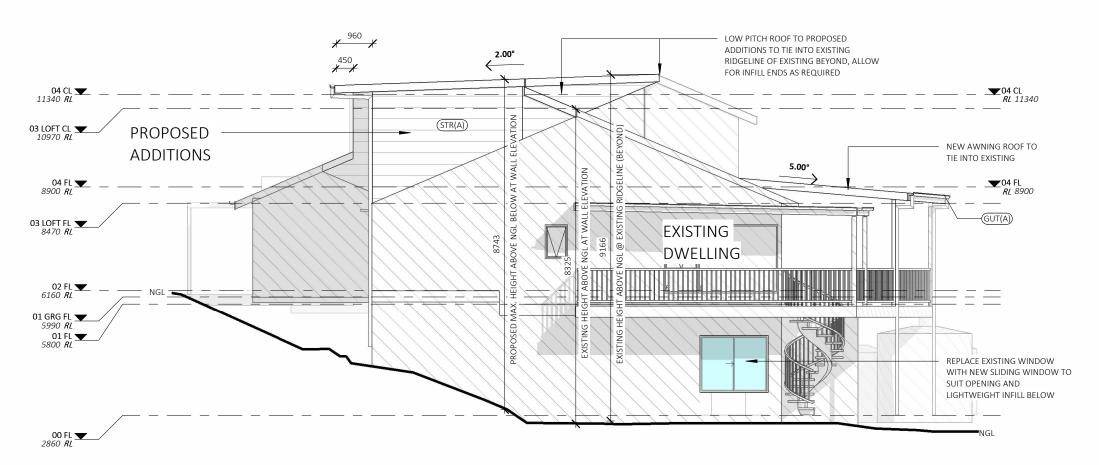
DA ISSUE ONLY

EXTERNAL FINISHES				
LABEL	MATERIAL DESCRIPTION			
CORR(M)	CORRUGATED METAL SHEET ROOFING (MEDIUM			
FBW	SELECT FACE BRICKWORK			
GUT(A)	CLIP-SNAP CONTINUOUS OVERFLOW EAVES			
	GUTTER SYSTEM TO COMPLY WITH AS 3500.3			
KLIP(M)	KLIP-LOK METAL SHEET ROOFING (MEDIUM)			
STR(A)	SCYON STRIA 300mm CLADDING			



WEST ELEVATION (FRONT)

1:100



SOUTH ELEVATION (SIDE)

1:100

DA ISSUE ONLY

BAL - LOW

BUSHFIRE NOTES:

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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Discrepancies to be referred to the consultant
Designer prior to commencement of work.

PROJECT:

STATUS: DA PLANS
LOT No: 566 DP No: 9938
STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324
CLIENT: BRISCOE

 Date:

 SCALE:
 1:100
 10/7/24

 19/9/24
 19/9/24

 SHEET SIZE:
 A3
 02.10.24

 START DATE:
 09.01.2023
 18.12.24

 DWG No:
 J5904
 07.03.25

ELEVATIONS

T: 02 6583 441

 Revision:
 Issue:
 Drawn:

 INITIAL ISSUE
 A
 JC

 CONCEPT CHANGES
 C
 JC

 FINAL CONCEPT
 D
 JS

 SURVEY ADDED/CONCEPT UPDATES
 E
 JS

 PRELIMINARY DA ISSUE
 F
 JS

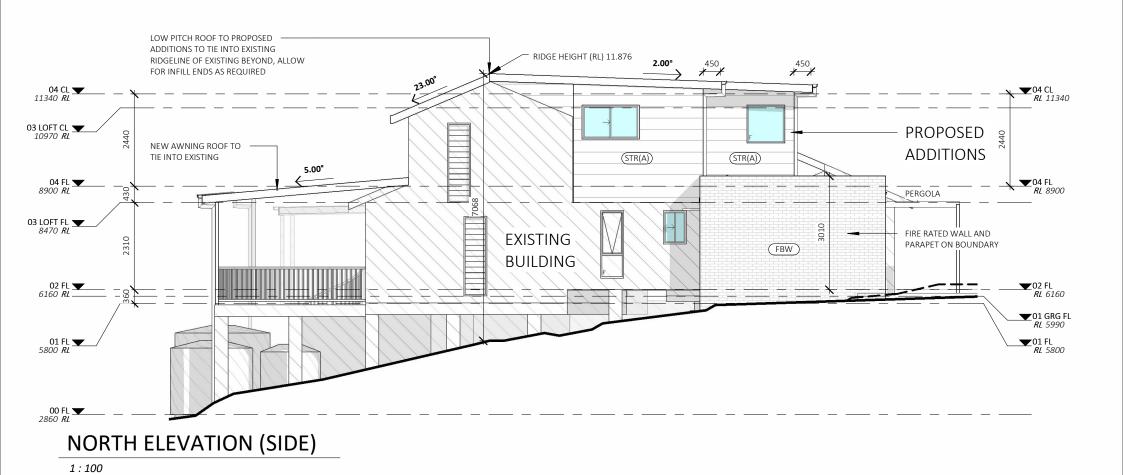
DRAWING REVISION + NOTES

EXTERNAL FINISHES				
LABEL	MATERIAL DESCRIPTION			
CORR(M)	CORRUGATED METAL SHEET ROOFING (MEDIUM			
FBW	SELECT FACE BRICKWORK			
GUT(A)	CLIP-SNAP CONTINUOUS OVERFLOW EAVES			
	GUTTER SYSTEM TO COMPLY WITH AS 3500.3			
KLIP(M)	KLIP-LOK METAL SHEET ROOFING (MEDIUM)			
STR(A)	SCYON STRIA 300mm CLADDING			



EAST ELEVATION (REAR)

1:100



DA ISSUE ONLY

BAL - LOW

BUSHFIRE NOTES:

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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PROPOSED ALTERATIONS AND ADDITIONS STATUS: DA PLANS **SHEET: 12 OF 20 LOT No**: 566 **DP No**: 9938 STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work. 2324 **CLIENT:** BRISCOE

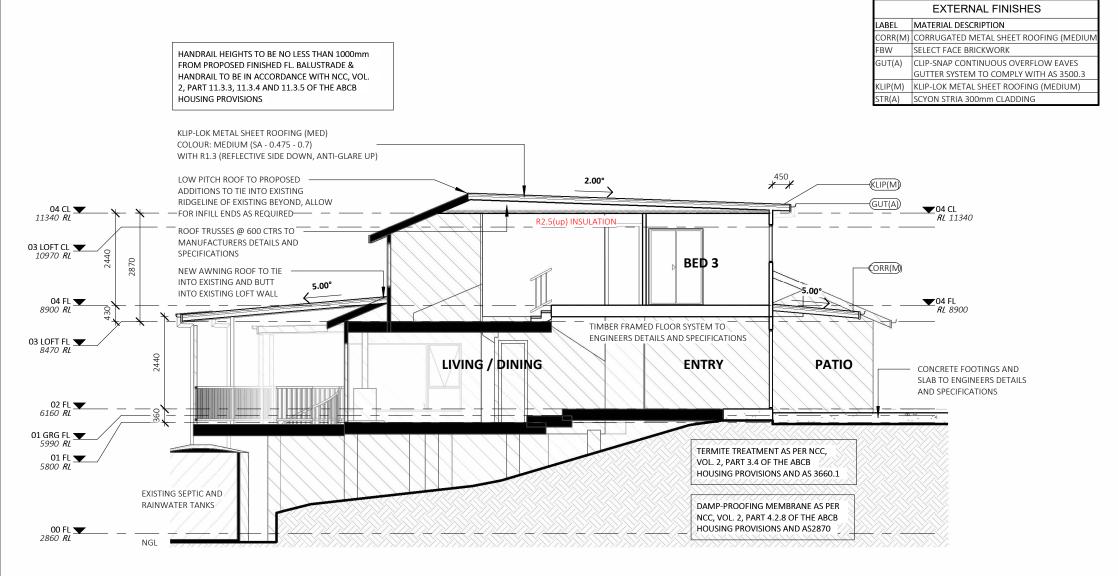
Date: 10/7/24 SCALE: 1:100 19/9/24 SHEET SIZE: А3 02.10.24 18.12.24 START DATE: 09.01.2023 17.02.25 DWG No: J5904

ELEVATIONS

T: 02 6583 441

Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES Jс INAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

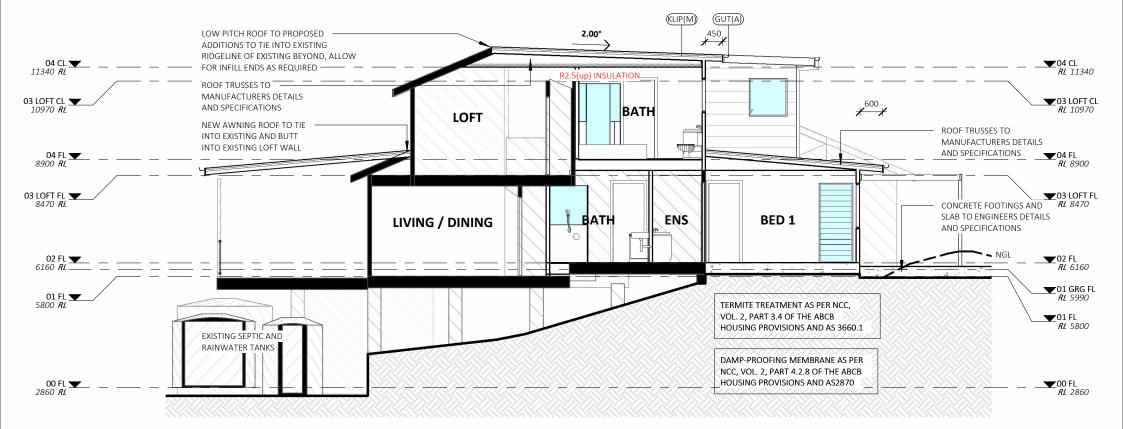
DRAWING REVISION + NOTES



SECTION AA

1:100

HANDRAIL HEIGHTS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, PART 11.3.3, 11.3.4 AND 11.3.5 OF THE ABCB HOUSING PROVISIONS



SECTION BB

BUSHFIRE NOTES:

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN

BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY

1:100

BAL - LOW

DA ISSUE ONLY

GENERAL PLAN SET NOTES:

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CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS,

NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS &

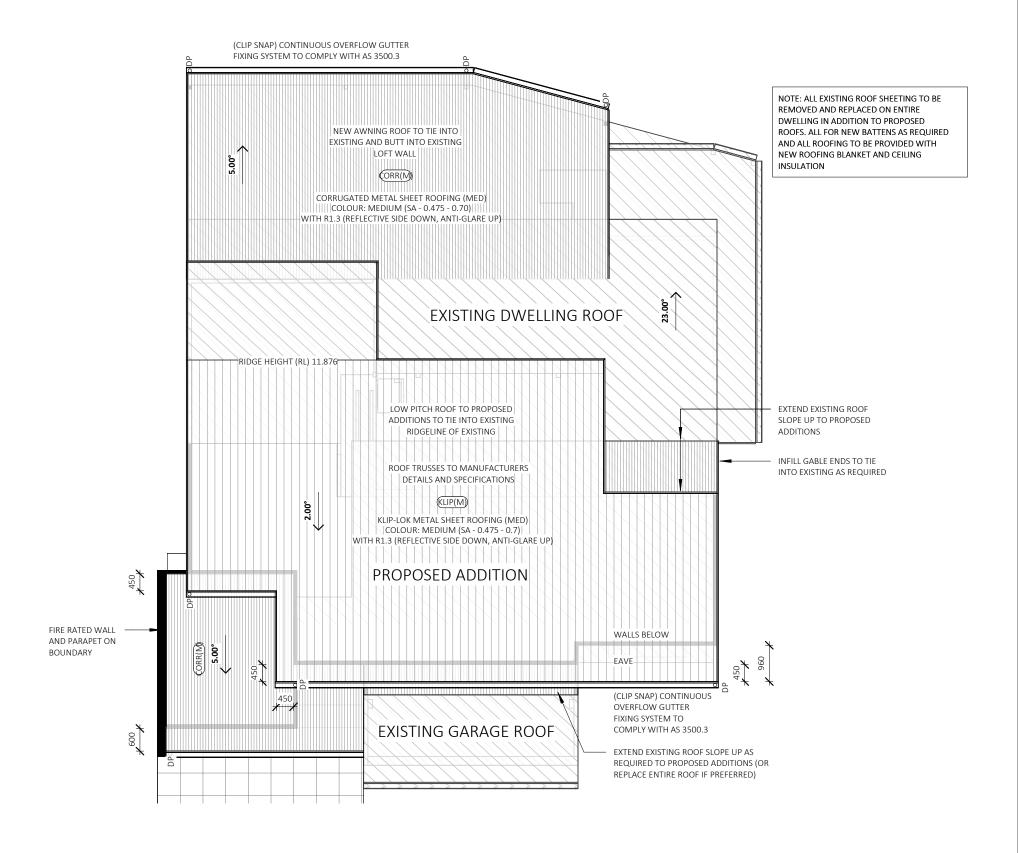
PROPOSED ALTERATIONS AND ADDITIONS DRAWING REVISION + NOTES Note: Copyright © Collins.w.Collins PTY LTD All rights reserved. No part of this drawing may be SECTIONS Issue: Drawn: Date: Revision: reproduced or transmitted in any form or by mean electronic, mechanical, photocopying, recording or STATUS: DA PLANS 1:100 10/7/24 INITIAL ISSUE otherwise, without the prior permission of the copyright holders.

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

AREAS - ROOF AREAS				
NAME	AREA			
POST DEVELOPMENT	252.1 m²			
ROOF AREA				
TOTAL	252.1 m ²			





ROOF PLAN

1:100

DA ISSUE ONLY

BAL - LOW

BUSHFIRE NOTES:

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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

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Designer prior to commencement of work.

PROPOSED ALTERATIONS AND ADDITIONS

STATUS: DA PLANS
LOT No: 566 DP No: 9938

STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 2324

CLIENT: BRISCOE

 Date:

 SCALE:
 1:100
 10/7/24

 SHEET SIZE:
 A3
 02.10.24

 START DATE:
 09.01.2023
 18.12.24

 DWG No:
 J5904
 07.03.25

ROOF PLAN

T: 02 6583 441

 Revision:
 Issue:
 Drawn:

 INITIAL ISSUE
 A
 JC

 CONCEPT CHANGES
 C
 JC

 FINAL CONCEPT
 D
 JS

 SURVEY ADDED/CONCEPT UPDATES
 E
 JS

 PRELIMINARY DA ISSUE
 F
 JS

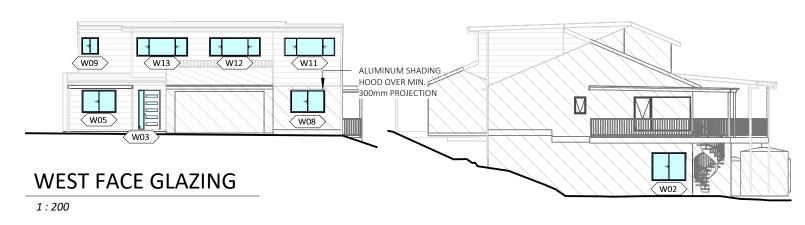
DRAWING REVISION + NOTES

WINDOW GLAZING SCHEDULE									
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	TYPE	CONSTRUCTION	GLAZING	AREA
W01	00 FL	RUMPUS	1500	1810	2100	SLIDING	ALUMINIUM	STANDARD	2.72 m ²
W02	00 FL	RUMPUS	1500	1810	2100	SLIDING	ALUMINIUM	STANDARD	2.72 m ²
W03	02 FL	ENTRY	2100	300	2100	FIXED GLASS	ALUMINIUM	STANDARD	0.63 m ²
W04	02 FL	BED 1	2100	910	2100	LOUVRE	ALUMINIUM	STANDARD	1.91 m²
W05	02 FL	BED 1	1200	1810	2100	SLIDING	ALUMINIUM	STANDARD	2.17 m ²
W06	02 FL	BED 1	2100	410	2100	LOUVRE	ALUMINIUM	LOW - E	0.86 m ²
W07	02 FL	ENS	900	610	2100	SLIDING	ALUMINIUM	STANDARD	0.55 m ²
W08	02 FL	BED 2	1200	1810	2100	SLIDING	ALUMINIUM	LOW - E	2.17 m ²
W09	04 FL	BATH	900	910	2143	SLIDING	ALUMINIUM	LOW - E	0.82 m ²
W10	04 FL	BATH	900	1510	2143	SLIDING	ALUMINIUM	STANDARD	1.36 m²
W11	04 FL	BED 5	1000	2710	2143	SLIDING	ALUMINIUM	STANDARD	2.71 m ²
W12	04 FL	BED 4	1000	2710	2143	SLIDING	ALUMINIUM	LOW - E	2.71 m ²
W13	04 FL	BED 3	1000	2710	2143	SLIDING	ALUMINIUM	LOW - E	2.71 m ²
W14	04 FL	BED 3	1000	1000	2143	FIXED GLASS	ALUMINIUM	STANDARD	1.00 m ²
		•					•		25.02 2

25.03 m²

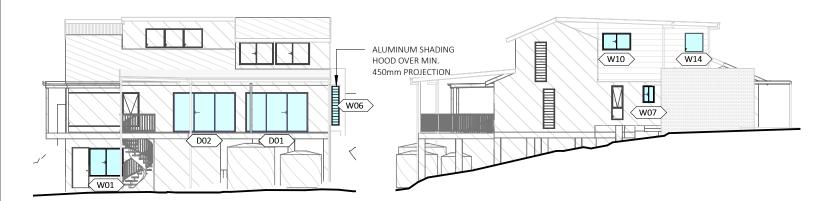
DOOR GLAZING SCHEDULE									
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	ТҮРЕ	CONSTRUCTION	GLAZING	AREA
D01	01 FL	LIVING / DINING	2100	3300	2100	SLIDING DOOR 3P	ALUMINIUM	STANDARD	6.93 m ²
D02	01 FL	LIVING / DINING	2100	3300	2100	SLIDING DOOR 3P	ALUMINIUM	STANDARD	6.93 m ²

13.86 m²



SOUTH FACE GLAZING

1:200



NORTH FACE GLAZING

GLAZING SPECIFICATIONS:

WINDOWS AND DOORS SPECIFIED USE NFRC UW & SHGCW VALUES, WINDOWS AND DOORS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL. 2. H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS.

A BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW COVERED BY PART 11.3.8 (1) AND BARRIER MUST ALSO COMPLY WITH PART 11.3.8 (3)

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055 : WIND LOADS FOR HOUSING AS 1288: GLASS IN BUILDINGS - SELECTION & INSTALLATION

AS 2047: WINDOWS & EXTERNAL DOORS IN BUILDING AS 1170-Part 2: WIND ACTIONS

AS 3959: CONSTRUCTION OF BUILDINGS IN BUSHFIRE

PRONE AREAS

*THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY THE NCC AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.

EAST FACE GLAZING

1:200

1:200

DA ISSUE ONLY

BAL - LOW

BUSHFIRE NOTES:

IT HAS BEEN DETERMINED THE SITE IS NOT LOCATED WITHIN BUSHFIRE PRONE LAND | PLEASE REFER TO BUSHFIRE REPORT BY BUSHFIRE ENVIRONMENTAL MANAGEMENT CONSULTANCY

BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



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DO NOT SCALE from this drawing. CONTRACTOR is t

PROPOSED ALTERATIONS AND ADDITIONS STATUS: DA PLANS **SHEET: 15 OF 20** LOT No: 566 DP No: 9938 STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant 2324

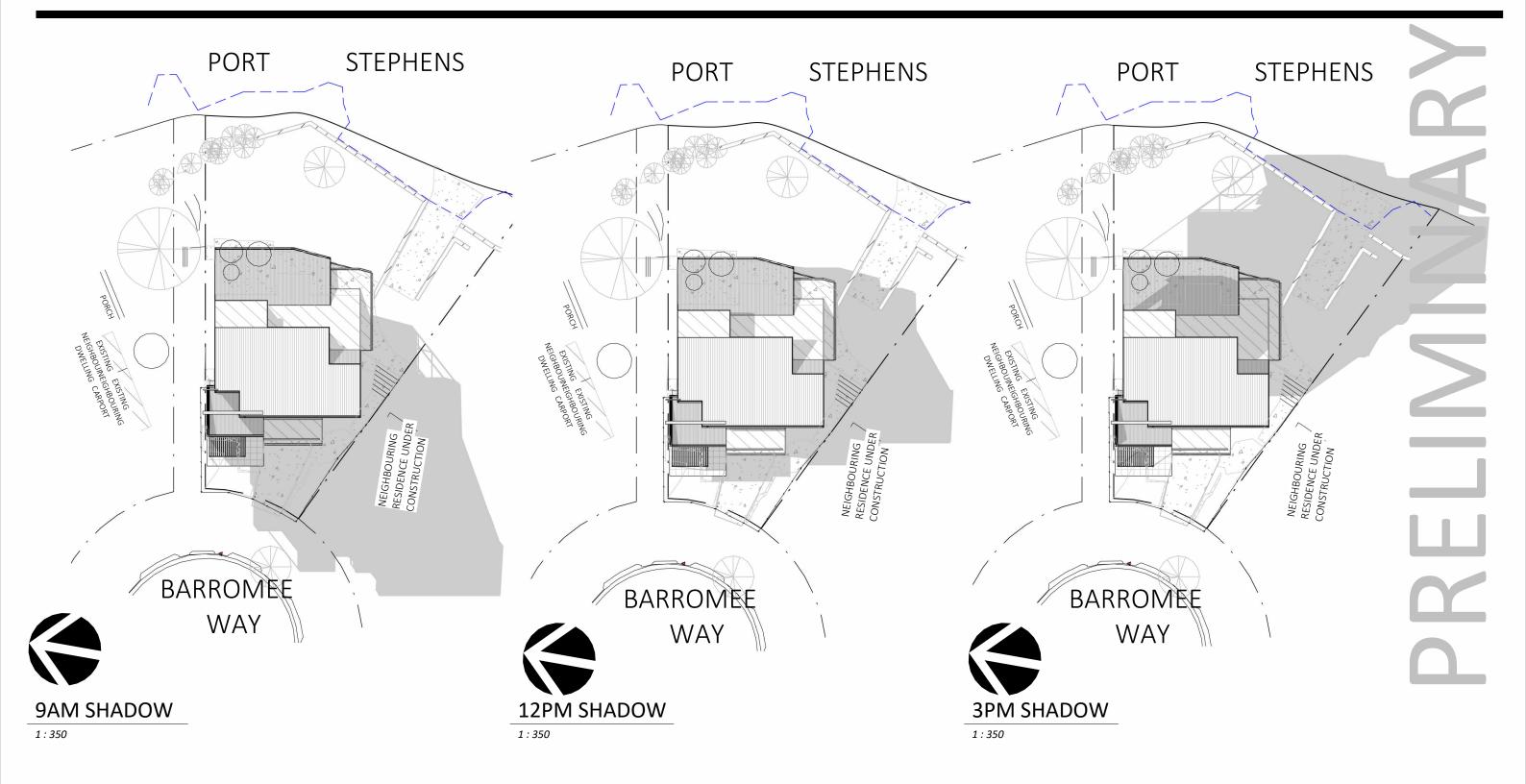
GLAZING SCALE: SHEET SIZE: START DATE: DWG No:

T: 02 6583 441

Date: As indicated 10/7/24 19/9/24 02.10.24 09.01.2023 18.12.24 17.02.25 J5904

DRAWING REVISION + NOTES Revision: Issue: Drawn: INITIAL ISSUE CONCEPT CHANGES INAL CONCEPT SURVEY ADDED/CONCEPT UPDATES JS PRELIMINARY DA ISSUE

CLIENT: BRISCOE Designer prior to commencement of work. 89A Lord Street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430



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BUSHFIRE NOTES:

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DRAWING REVISION + NOTES



BAL - LOW

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	START DATE:	09.01.2023	1
	DWG No:	J5904	0

SHADOWS - JUNE 21st

 Date:
 Revision:
 Issue:
 Drawn

 10/7/24
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 A
 JC

 19/9/24
 CONCEPT CHANGES
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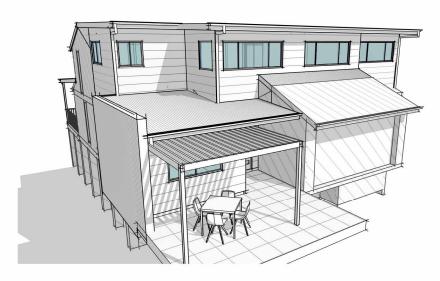
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FRONT PERSPECTIVE



NORTHEAST BIRDS-EYE PERSPECTIVE



NORTHWEST BIRDS-EYE PERSPECTIVE

DA ISSUE ONLY

BAL - LOW

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GENERAL PLAN SET NOTES:

T: 02 6583 4411

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DO NOT SCALE from this drawing. CONTRACTOR is to hear all the dimensions on the job prior to

check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work. **CLIENT:** BRISCOE

PROJECT: PROPOSED ALTERATIONS	AND ADDITIONS			
STATUS: DA PLANS SHEET: 17 OF 20				
LOT No : 566 DP No : 9938	SHEET: 17 OF 20			
STREET: 11 BARROMEE WAY, NORT	H ARM COVE, NSW			
2324				
ALIENIE				

DRAWING REVISION + NOTES 3D VIEWS AND PERSPECTIVES Revision: Date: Issue: Drawn: INITIAL ISSUE 10/7/24 SCALE: CONCEPT CHANGES 19/9/24 SHEET SIZE: А3 02.10.24 FINAL CONCEPT 09.01.2023 18.12.24 SURVEY ADDED/CONCEPT UPDATES JS START DATE: PRELIMINARY DA ISSUE 17.02.25 DWG No: J5904

GENERAL AND PROJECT SPECIFIC CONSTRUCTION NOTES FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS. DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.

REVIEWED JANUARY 2024

CONSTRUCTION NOTES:

STAIRS, RAMPS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH NCC VOL. 2, H5D2 AND PART
11.2.2 OF THE ABCB HOUSING PROVISIONS. RAMPS TO
COMPLY WITH PART 11.2.3. SLIP RESISTANCE TO STAIRS
AND RAMPS AS PER PART 11.2.4 OF THE ABCB HOUSING
PROVISIONS AND IN ACCORDANCE WITH AS4586.
BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm
FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL
TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND
PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB
HOUSING PROVISIONS.

WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS.

A BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW COVERED BY PART 11.3.8 (1) AND BARRIER MUST ALSO COMPLY WITH PART 11.3.8 (3)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA 'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010

WET AREA NOTES:

WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 AND NCC, VOL. 2, PART H4D2 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS, AND WHERE A FLOOR WASTE IS INSTALLED, IT MUST BE PROVIDED WITH A MIN. CONTINUOUS FALL OF 1:80 AND MAX. CONTINUOUS FALL OF 1:50 AS PER PART 10.2.12 OF THE ABCB HOUSING PROVISIONS. INSTALLATION OF MATERIALS TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS.

SMOKE ALARMS/DETECTORS:

SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS AND DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS.

GLAZING SPECIFICATIONS:

WINDOWS AND DOORS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AND DOORS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

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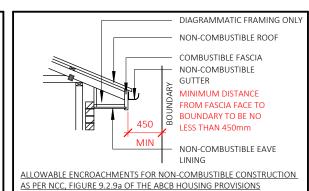
WINDOWS AND GLAZING TO COMPLY WITH:

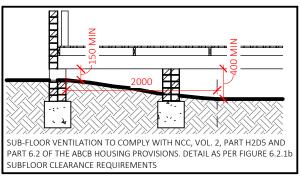
AS 4055 : WIND LOADS FOR HOUSING

AS 1288: GLASS IN BUILDINGS - SELECTION & INSTALLATIO AS 2047: WINDOWS & EXTERNAL DOORS IN BUILDING AS 1170-Part 2: WIND ACTIONS

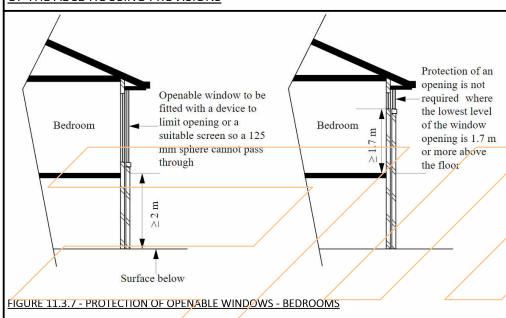
AS 3959: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

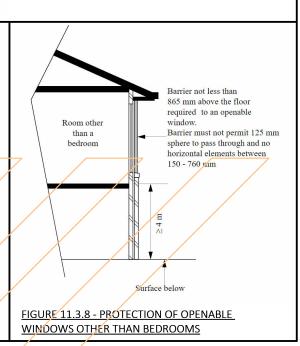
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COMPLIANCE FIGURES FOR NCC, VOL. 2, PART H5D3 BARRIERS AND HANDRAILS AND PART 11.3.7 AND 11.3.8 OF THE ABCB HOUSING PROVISIONS





		EXTERNAL FINISHES
Ī	LABEL	MATERIAL DESCRIPTION
	CORR(M)	CORRUGATED METAL SHEET ROOFING (MEDIUM
	FBW	SELECT FACE BRICKWORK
	GUT(A)	CLIP-SNAP CONTINUOUS OVERFLOW EAVES
		GUTTER SYSTEM TO COMPLY WITH AS 3500.3
	KLIP(M)	KLIP-LOK METAL SHEET ROOFING (MEDIUM)
	STR(A)	SCYON STRIA 300mm CLADDING

DA ISSUE ONLY

Issue: Drawn:

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BUSHFIRE NOTES:

BAL - LOW

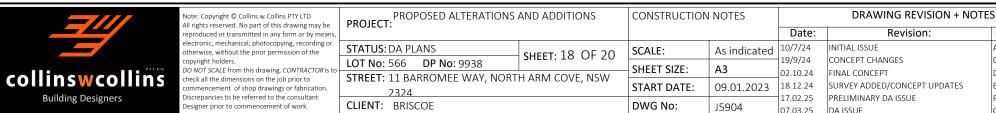
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BASIX NOTES:

TO BE COMPLETED DURING STAGE 2

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BUILDING SPECIFICATIONS FOR CLASS 1 AND 10 BUILDINGS

All works to be completed in accordance with the current version of the National Construction Code Series, including National Construction Code (NCC), Volume 2 and the Plumbing Code of Australia (PCA), Volume 3 as applicable

All Australian Standards listed are the versions that have been adopted by the relevant version of the National Construction Code Series at the time of Construction Certificate or Complying Development Certificate Application.

STRUCTURAL PROVISIONS

Structural Design Manuals- is satisfied by complying with: a) NCC, Vol. 2, Part H1D1 and Part 2.2 Structural Provisions of the ABCB Housing Provisions;

Structural Software – Must comply with the Australian Building Codes Board (ABCB) Protocol for Structural Software as per the NCC, Vol 2, Part H1D6 (7) and Part 2.2.5 of the ABCB Housing Provisions. SITE PREPARATION

Earthworks - Earthworks are to be undertaken in accordance with the NCC, Vol. 2, Part H1D3 and Part 3.2 of the ABCB Housing Provisions Earth Retaining structures (ie. retaining walls & batter) to be in accordance with AS4678.

Drainage – Stormwater drainage is to be undertaken in accordance with AS/NZS 3500.3, or, the Acceptable Construction Practice as detailed in the NCC, Vol. 2, Part H2D2 and Part 3.3 of the ABCB Housing Provisions

Termite Risk Management-Where a primary building element is considered susceptible to termite attack the building shall be protected in accordance with the following:

a) AS 3600.1, and b) The Acceptable Construction Practice as detailed in accordance with the NCC, Vol. 2, Part H1P1 and Part 3.4 of the ABCB Housing

c) A durable notice is permanently fixed to the building in a prominent location, such as in a meter box or the like, including the details listed in the NCC, Vol. 2, Part 3.4.3 of the ABCB Housing Provisions

The footing or slab is to be constructed in accordance with AS 2870, except that for the purposes of Clause 5.3.3.1 of AS 2870, a dampproofing membrane is required to be provided, or, the Acceptable Construction Practice detailed in the NCC, Vol. 2, Part H1D4 and Part 4.2 of the ABCB Housing Provisions

Piled footings are to be designed in accordance with AS 2159 MASONRY

Unreinforced Masonry- to be designed and constructed in accordance with;

a) AS 3700; or b) AS 4773 Parts 1 and 2: or

c) NCC, Vol. 2, Part H1D5 and Part 5.4 of the ABCB Housing Provisions Reinforced Masonry- to be designed and constructed in accordance

a) AS 3700: or b) AS 4773 parts 1 and 2; or

c) NCC, Vol. 2, Part H1D5 and Part 5.2 and 5.3 of the ABCB Housing Provisions Masonry Components and Accessories—to be constructed and installed in accordance with:

a) AS 3700; or b) AS 4773 Parts 1 and 2;

with:

c) NCC, Vol. 2, Part H1D5 and Part 5.6 of the ABCB Housing Provisions Weatherproofing of Masonry

This Part applies to an external wall (including the junction between the wall and any window or door) of a Class 1 Building. This Part does not apply to any Class 10 building except where its

construction contributes to the weatherproofing of the Class 1 huilding The weatherproofing of masonry is to be carried out in accordance

a) AS 3700; except as provided for by NCC, Vol. 2, Part H1D5 (4); or b) AS 4773 Parts 1 and 2

c) NCC, Vol. 2, Part H1D5 and Part 5.7 of the ABCB Housing Provisions FRAMING

Sub-Floor Ventilation - Is to comply with the Acceptable Construction Practice of the NCC, Vol. 2, Part H2D5 and part 6.2 of the ABCB

Steel Framing – is to be designed and constructed in accordance with the Acceptable Construction Practice of the NCC Vol.2, Part H1D6 and Part 6.3 of the ABCB Housing Provisions; or, one of the following manuals:

a) Steel structures: AS 4100.

b) Cold-formed steel structures: AS/NZS4600.

c) Residential and low-rise steel framing: NASH Standard. Timber Framing - is to be designed and constructed in accordance with the following, as appropriate:

Structural Steel Members – is to be designed and constructed in

accordance with the Acceptable Construction Practice of the NCC Vol. 2. Part H1D6 and Part 6.3 of the ABCB Housing Provisions or, one of the following manuals

a) Steel Structures: AS 4100.

b) Cold-formed steel structures: AS/NZS 4600.

ROOF AND WALL CLADDING Roof Cladding – is to comply with the Acceptable Construction Practice of the NCC, Vol. 2, Part H1D7 and Part 7.2 and 7.3 of the ABCB Housing Provisions; or, one of the following:

a) Roofing tiles: NCC, Vol. 2, Part 7.3 of the ABCB Housing Provisions AS4597, AS2050, AS2049 and AS 4200.1

b) Metal Roof Cladding: NCC Vol. 2 Part 1 Provisions - AS1562.1 c) Plastic sheet roofing: AS/NZS 4256 Parts 1, 2, 3 and 5; and AS/NZS

Gutters and Downpipes— are to be designed and constructed in accordance with the Acceptable Construction Practice of of the NCC. Vol. 2. Part H2D2, H2D6 and Part 7.4 of the ABCB Housing Provisions.

or, AS/NZS 3500.3 – Stormwater drainage. Timber & Composite Wall Cladding—to be designed and constructed in accordance with Acceptable Construction Practice of the NCC, Vol. 2, Part 7.5 of the ABCB Housing Provisions - AS4200.1, AS2908.2 or $\,$ ISO 8336, AS1859.4, AS2269.0 and AS2904

Autoclaved Aerated Concrete to AS5146.1 Metal wall cladding to be designed and constructed in accordance

GLAZING

Glazing – to be designed and constructed in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H1D8 and Part 8.3 of the ABCB Housing Provisions, or, one of the following manuals as applicable under the

a) AS 2047 h) AS 1288

FIRE SAFETY

Fire Hazard properties of materials to comply with the NCC, Vol. 2, Part H3D2 Fire Separation of external walls to comply with the NCC, Vol. 2, Part H3D3 and Part 9.2 of the ABCB Housing Provisions

Fire Separation of separating walls & floors to comply with the NCC, Vol. 2,

Part H3D4 and Part 9.3 of the ABCB Housing Provisions

Fire Separation of garage-top-dwellings to comply with the NCC, Vol. 2, Part H3D4 and Part 9.4 of the ABCB Housing Provisions Smoke Alarms & Evacuation lighting to comply with the NCC, Vol. 2, Part

H3D5 and Part 9.5 of the ABCB Housing Provisions

BUSHFIRE AREAS

Bushfire Areas – This section relates to:

a) A Class 1 building; or

b) A Class 10a building or deck associated with a Class 1 building, If it is constructed in accordance with the following

c) AS 3959, except as amended by planning for bushfire protection and, except for Section 9 Construction for Bushfire Attack Level FZ (BAL-FZ). Buildings subject to BAL-FZ must comply with specific conditions of

development consent for construction at this level; or d) The requirements of (c) above as modified by the development consent following consultation with the NSW Rural Fire Service undersection 79BA of the Environmental Planning and Assessment Act 1979; or

e) The requirements of (c) above as modified by the development consent with a bushfire safety authority issued under section 100B of the Rural Fire Act for the purposes of integrated development.

Alpine Areas – to be constructed in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H7D3 and Part 12.2 of the ABCB Housing Provisions if located in an alpine area

HEALTH AND AMENITY

Wet Areas and External Waterproofing-building elements in wet areas within a building must:

a) Be waterproof or water resistant in accordance with the NCC, Vol. 2, Part H4D2, H4D3 and Part 10.2 of the ABCB Housing Provisions; and

c) External areas to comply with AS4654.1 & AS4654.2

Room Heights - are to be constructed in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H4D4 and Part 10.3 and Figure 10.3.1 of the ABCB Housing Provisions

Facilities – are to be constructed in accordance with Acceptable Practice of the NCC, Vol. 2, Part H4D5 and Part 10.4 of the ABCB Housing Provisions Light – is to be provided in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H4D6 and Part 10.5 of the ABCB Housing Provisions

Ventilation – is to be provided in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H4D7 and Part 10.6 of the ABCB Housing Provisions and installed in accordance with AS1668.2 Sound Insulation - (only applies to a separating wall between two or more class 1 buildings) is to be provided in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H4D8 and Part 10.7 of the

Condensation Management to be provided in accordance with Acceptable Construction Practice of the NCC, Vol. 2, Part H4D9 and Part 10.8 of the **ABCB Housing Provisions**

SAFE MOVEMENT AND ACCESS

Stairway and Ramp Construction to be constructed and installed in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H5D2 and Part 11.2 of the ABCB Housing Provisions

Barriers and Handrails—to be constructed and installed in accordance with the Acceptable Construction Practice of to be constructed and installed in accordance with the Acceptable Construction Practice of the NCC, Vol. 2, Part H5D3 and Part 11.3 of the ABCB Housing Provision

ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS

H7D2 - Swimming Pools

H7P1 - Swimming Pool Access—to be designed and installed in accordance with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and AS 1926 Parts 1 and 2.

H7P2 - Swimming Pool Water recirculation Systems— is to be designed and constructed in accordance with AS1926.3.

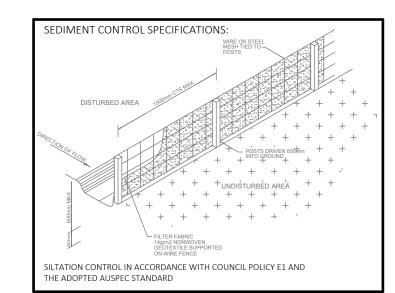
High Wind Areas - Applies to a region that is subject to design wind speeds more than N3 or C1 (see Table 4 of the NCC). To be constructed in accordance with one or more of the relevant structural design manuals referenced in the NCC, Vol. 2, Part 2.2 of the ABCB Housing Provisions H1D9 - Earthquake Areas subject to "seismic activity" to be constructed in accordance the NCC, Vol. 2, Part 2.2 of the ABCB Housing Provisions H1D10 - Flood Hazard Areas – applies to areas on a site (weather or not mapped) encompassing the land lower than the flood hazard level (as defined by the NCC) which has been determined by the appropriate authority (statutory authority), are to be constructed in accordance with the ABCB Standard for Construction of Buildings in Flood Hazard Areas H7D3 - Construction "Alpine Areas" in accordance with NCC, Vol. 2, Part 12.2 of the ABCB Housing Provisions

H7D4 - Construction in Bushfire Prone Areas; dwellings are to be construced in accordance with AS3959-2018: Construction of buildings in bushfire-prone

H1D11 - Attachment of Decks & Balconies to external walls of buildings to be in accordance with the NCC, Vol. 2, Part 12.3 of the ABCB Housing Provisions or alternatively must be designed by a professional engineer or other appropriately qualified person in accordance with the relevant structural esign manuals referenced in the NCC Vol. 2. Part 2.2 of the ARCR Ho Provisions

H7D5 - Heating Applicances, Fireplaces, Chimneys & Flues to be installed in accordance with the NCC, Vol.2, Part 12.4 of the ABCB Housing Provisions; or a) for a domestic solild fuel burning applicance, AS/NZS 2918 **ENERGY EFFICIENCY**

Energy Efficiency – to comply with the measures contained in the relevant BASIX certificate and the requirements of the NCC, Vol. 2, NSW Part H6 Energy Efficiency and the NSW Parts of Part 13.2 of the ABCB Housing





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OO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT:		
STATUS: DA PLANS	SHEET: 19 OF 20	S
LOT No: 566 DP No: 9938	SHEET: 19 OF 20	<u> </u>
STREET: 11 BARROMEE WAY, NORT	H ARM COVE, NSW	- C
2324		١
CLIENT: BRISCOE		Е

PROPOSED ALTERATIONS AND ADDITIONS

BUILDING SPECI	FICATIONS	DRAWING REVISION + NOTES				
		Date:	Revision:	Issue:	Drawn:	
SCALE:	As indicated	, . ,	INITIAL ISSUE	А	JC	
		19/9/24	CONCEPT CHANGES	C	JC	
SHEET SIZE:	A3	02.10.24	FINAL CONCEPT	D	JS	
START DATE:	09.01.2023		SURVEY ADDED/CONCEPT UPDATES	E	JS	
DIAC No.	15004	17.02.25	PRELIMINARY DA ISSUE	F	JS	
DWG No:	J5904	07.03.25	DA ISSUE	G	JS	
T: 02 6583 4411 WWW. COLLINSWCOLLINS.COM.AU				COM.AU		

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

A) WORKING AT HEIGHTS **DURING CONSTRUCTION**

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility. **DURING OPERATION OR MAINTENANCE**

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation

B) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is $% \left\{ 1\right\} =\left\{ 1\right\} =\left$ being carried out onto persons below

- 1. Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms. Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass

All material packaging, building and maintenance components should Top soil shall be cut to a depth sufficient to remove all vegetation. clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment These should be fully maintained in accordance with manufactures specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: asbestos 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

VOLATILE ORGANIC COMPOUNDS

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacture's recommendations for use must be carefully considered at all times SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material. TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufactures recommendations for use must be carefully considered at all times 7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective

Equipment should be provided.

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials a present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use. 10.OTHER HIGH RISK ACTIVITY

Code All electrical work should be carried out in accordance with of

Managing Electrical Risks at the Workplace, AS/NZ and all licensing requirements. 3012 All work using Plant should be carried out in accordance with Code of Practice:

Managing Risks of Plant at the Workplace. Code of All work should be carried out in accordance with Practice:

Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

EXCAVATIONS 1.Excavations

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan

Excavations for all footings shall be in accordance with the Engineer's Recommendations of the NCC requirements.

FOUNDATIONS AND FOOTINGS

Underfloor fill shall be in accordance with the NCC

2. Termite Risk Management

Termite treatment shall be carried out in accordance with the

1. Underfloor Fill

The vapour barrier installed under slab-on-ground construction shall be 0.2mm nominal thickness, high impact resistance polyethylene film installed in accordance with the NCC.

4. Reinforcement

Reinforcement shall conform and be placed in accordance with the Engineer's Recommendation and the NCC. Support to all reinforcement shall be used to correctly position and

avoid any undue displacement of reinforcement during the

Structural shall not be less than Grade N20 except otherwise approved by the engineer and in accordance with the NCC. 6. Curing

All concrete slabs shall be cured in accordance with AS 3600. 7. Footings and Slabs on Ground

Concrete slabs and footings shall not be poured until approval to $pour \ concrete \ is \ given \ by \qquad the \ engineer \ or \ the \textit{Local Authority}.$ 8. Sub-Floor Ventilation

Where required, adequate cross ventilation will be provided to the space under suspended ground floor. Construction is to meet the requirements of the NCC. No section of the under floor area wall to be constructed in such manner that will hold pockets of still air. 9. Sub-Floor Access

If required, access will be provided under suspended floors in position where indicated on plan.

EFFLUENT DISPOSAL/DRAINAGE

Stormwater drainage shall be carried out in accordance with the NCC. The Builder will allow for the supplying and laying of stormwater drains where shown on the site plan.

TIMBER FRAMING

All timber framework sizes, spans, spacing, notching, checking and fixing to all floor, wall and roof structure shall comply with the NCC or AS 1684. Alternative structural framing shall be to structural engineer's details and certification.

The work shall be carried out in a proper and trades personal like manner and shall be in accordance with recognised and accepted building practices.

2. Roof Trusses

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions

3. Bracing

Bracing units shall be determined and installed in accordance with AS 1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building 4. Flooring

Floor joists will be covered with strip or sheet flooring as shown on plan with particular regard to ground clearance and installation in wet areas as required by the NCC. Thickness of the flooring is to be appropriate for the floor joist spacing.

Strip and sheet flooring shall be installed in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

Posts supporting the carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on glavanised or treated metal post shoes, unless otherwise specified. Posts shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for 6. Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection

1. Generally

Steel floor, wall or roof framing shall be installed in accordance with the manufacturer's recommendations and the NCC. ROOFING

All roof cladding is to comply with the relevant structural performance and weathering requirements of the NCC and be installed as per the manufacture's recommendations.

1.Tiled Roofing

The Builder will cover the roof of the dwelling with approved tiles as selected. The tiles are to be fixed (as required for appropriate design and wind speed) to battens of sixes appropriate to the spacing of rafters/trusses in accordance with the manufactures recommendations. The Builder will cover hips and ridges with capping and all necessary accessories including starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so as to minimise water penetration as far as practicable. As roof tiles are $\ made\ of\ natural\ products\ slight\ variation\ in\ colour\ is\ acceptable.$ 2. Metal Roofing

The Builder will provide and install a metal roof together with

accessories all in accordance with the manufacture's

Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing sheets shall be strictly in accordance with the manufacturer's recommendation as required for the appropriate design and wind speed. Incompatible materials shall not be used for flashings, fasteners or downpipes.

3. Gutters and Downpipes Gutters and downpipes shall be manufactured and installed in

accordance with the NCC. Gutters and downpipes are to be compatible with other materials used. 4. Sarking

Sarking under roof coverings must comply with and be fixed in accordance with manufacturer's recommendations.

5. Sealants Appropriate sealants shall be used where necessary and in

accordance with manufacture's recommendations

Flashings shall comply with, and be installed in accordance with the NCC.

MASONRY

1. Damp Proof Courses

All damp proof courses shall comply with the NCC and Clause 1.0.10. The damp proof membrane shall be visible in the external face of the masonry member in which it is placed and shall not be

bridged by any applied coatings, render or the like 2. Cavity Ventilation

Open vertical joints (weepholes) must be created in the course immediately above any DPC or flashing at centres not exceeding

1.2m and must be in accordance with the NCC.

3. Mortar and Joining Mortar shall comply with the NCC. Joint tolerances shall be in

accordance with AS 3700.

Lintels used to support brickwork opening in walls must be suitable for the purpose as required by the NCC. The Builder will provide one lintel to each wall leaf. The Builder will provide corrosion protection

in accordance with the NCC Part 3.4.4 as appropriate for the site environment and location of the lintels in the structure The Builder will clean all exposed brickwork with an approved cleaning system. Care should be taken not to damage brickwork or

ioints and other fittings CLADDING AND LININGS 1. External Cladding Sheet materials or other external cladding shall be fixed in

accordance with the manufacture's recommendations and any

Where required in open verandas, porches and eave soffits,

materials indicated on the plans shall be installed. 2.Internal Wall and Ceilings Linings

applicable special details.

The $\ensuremath{\textit{Builder}}$ will provide gypsum plaster boards or other selected materials to walls and ceilings. Plasterboard sheets are to have recessed edges and will be a minimum of 10mm thick. Internal angles in walls from floor to ceiling are to be set. Suitable cornice moulds shall be fixed at the junction of all walls and ceilings or the joint set as required. The lining of wet area and walls shall be constructed in accordance with the NCC. Wet area lining is to be fixed in accordance with the manufacturers recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling.

3.Waterproofing

All internal wet area and balconies over internal habitable rooms are to be waterproof in accordance with the NCC.

JOINERY

1. General All joinery work (metal and timber) shall be manufactured and

2. Door Frames External door frames shall be a minimum of 32mm thick solid rebated 12mm deep to receive doors. Internal jamb linings shall be a minimum of 18mm thick fit with 12mm thick door stops. Metal

doorframes shall be installed where indicated on drawings in

installed according to accepted building practices.

accordance with the manufacture's recommendations.

3. Doors and Doorsets All internal and external timber door and door sets shall be installed in accordance with accepted building practices. Unless listed otherwise in the Schedule of Works, doors and door sets shall be manufactured in accordance with AS 2688 and AS 2689.

4. Window and Sliding Doors

Sliding and other timber windows and doors shall be manufactured and installed in accordance with AS 2047.

Sliding and other aluminium windows and the doors shall be installed in accordance with manufacture's recommendations and AS 2047.

All glazing shall comply with the NCC and any commitments outlined in the relevant BASIX Certificate.

5. Stairs, Balustrades and other Barriers The Builder will provide stairs or ramps to any change in levels, and

balustrades or barriers to at least one side of ramps, landings and balconies as per the NCC. SERVICES

1.Plumbing

All plumbing shall comply with the requirements of the relevant supply authority and AS 3500. The work is to be carried out by a licensed plumber.

Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacture's recommendations. Fittings, hot water system and any rainwater harvesting facilities shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate

2.Electrical

The Builder will provide all labour and materials necessary for the proper installation of the electricity service by a licensed electrician in accordance with AS/NZS 3000 and the requirements of the relevant supply authority. Unless otherwise specified, the electrical service shall be 240 volt, single phase supply

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority. 4.Smoke Detectors The Builder will provide and install smoke alarms manufactured in accordance with AS 3786 AS specified or as indicated on the plans

and in accordance with the NCC. 5.Thermal Insulation

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacture's recommendations to achieve the R-Values required by the NCC or as outlined in the relevant BASIX Certificate.

1.Materials

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's recommendation.

Installation of tiles shall be in accordance with AS 3958.1. manufacturer's recommendations or accepted building practices.

Where practicable, spacing between tiles should be even and regular. The Builder will provide expansion joints where necessary All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions to be filled with flexible mould resistant sealant. All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as $\label{eq:continuous} % \[\frac{1}{2} \left(\frac{1}{2} \right) + \frac{1}{2$ specified by the tile manufacturer or accepted building practice. As tiles are made of natural products a slight variation in colour is

DRAWING REVISION + NOTES

Issue: Drawn:

Jс

JS

WWW. COLLINSWCOLLINS.COM.AU

Revision:

SURVEY ADDED/CONCEPT UPDATES

INITIAL ISSUE

CONCEPT CHANGES

PRELIMINARY DA ISSUE

INAL CONCEPT



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Designer prior to commencement of work.

PROPOSED ALTERATIONS AND ADDITIONS
PROJECT: **WORK SAFETY NOTES** Date: STATUS: DA PLANS 10/7/24 SCALE: 1:100 SHEET: 20 OF 20 19/9/24 LOT No: 566 DP No: 9938 SHEET SIZE: А3 02.10.24 STREET: 11 BARROMEE WAY, NORTH ARM COVE, NSW 18.12.24 START DATE: 09.01.2023 2324 17.02.25 **CLIENT:** BRISCOE DWG No: 15904 89A Lord Street (PO Box 5667), Port Macquarie nsw 2444 | Shop 17 Centrepoint Arcade, Taree NSW 2430 T: 02 6583 4413